

9204130180

DECLARATION OF DESIGN GUIDELINES -
COVENANT FOR BUILDING LOCATIONS

This indenture and declaration running with the land, is made by The Quadrant Corporation and Quadrant-North Shore Associates ("Declarants"). Declarants state as follows:

1. Property Subject to Guidelines. Declarants are the owners of property in Pierce County, Washington, legally described as:

92 APR 13 AM 10:24

RECORDED
BRIAN SUNTJAG
AUDITOR
PIERCE CO. WASH

North Shore Country Club Estates Division IV B, Lots 1-27, Lots 30-37 and Lots 39-41, according to the plat recorded in Volume 664 of Plats, pages 1813 to 1817 inclusive, recorded at Pierce County Recorder's No. 9102070344, records of Pierce County, Washington, and North Shore Country Club Estates Division IV C, Lots 1 through 27 and Lots 135 through 164, according to the plat recorded in Volume 710 of Plats, pages 1769 through 1778 inclusive, records of Pierce County, Washington, all situated in Pierce County, Washington.

("Property"), on which Declarants hereby direct and restrict the placement of buildings and other structures.

2. Declaration. Declarants hereby covenant, agree and declare that all of the Property will be held, sold and conveyed subject to the following covenants, conditions, restrictions, easements and reservations, all of which are for the purpose of enhancing and protecting scenic views and value, desirability and attractiveness of the Property. These covenants, conditions, restrictions, easements and reservations shall run with the Property and shall be binding on all parties having or acquiring any right, title or interest in the Property or any part thereof. Acceptance of an interest in the Property or a portion thereof shall be acceptance of the terms of this covenant.

3. Location Restriction. Any building or other improvement on the Property shall be placed within the area described in Exhibit A for each lot. No building or other improvement shall be constructed or maintained outside the portion of any Lot as described in Exhibit A without permission of the North Shore Homeowners Association Architectural Control Committee (ACC).

4. Architectural Control. No construction activity of any type, may begin on the Property without compliance with the terms of Article Ten of the Declaration of Protective Covenants, Conditions and Restrictions for North Shore Country Club Estates, ("Declaration") as recorded at Pierce County Auditor's No. 9102260454 and as amended.

5. Limitation on Vegetation. Trees, shrubs and other natural vegetation located on the Property may not exceed a height which would cause such vegetation to interfere substantially with or obscure the scenic view from a Lot located on the Property. Determination of whether such trees, shrubs and other natural vegetation exceeds the permissible height limitation contained in this declaration shall be determined by the ACC in its sole, subjective opinion, pursuant to the Declaration.

6. Enforcement. In the event of failure of any Owner of a Lot or parties in possession of a Lot located in the Property to comply with the terms of this covenant, the Board or any Member of the Homeowner's Association shall be entitled to take any action permitted by the Declaration or applicable law to compel compliance with this covenant.

7. Payment of Costs/Lien. All costs, including attorney's fees, statutory costs and all expenses of enforcement incurred by the Board or by any Member in course of enforcing compliance with the terms of the Declaration and this covenant may be assessed, claimed and collected in any manner permitted by the Declaration or applicable law.

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8. Incorporation of Declaration. The provisions of the Declaration are hereby incorporated by this reference, to the extent that such terms are applicable to the administration and enforcement of the terms of this covenant.

9. Severability. If any provision of this covenant is determined by a court of competent jurisdiction to be invalid or unenforceable, the remainder shall remain in full force and effect.

10. Successors and Assigns. The rights and obligations of the Board, Members, Owners of Lots and Declarants shall inure to the benefit of and be binding upon their respective successors and assigns.

QUADRANT-NORTH SHORE ASSOCIATES,
DECLARANT

Date: 4/10, 1992 By *Skip Holman*
Quadrant Corporation
Its V.P.
Acting Managing Partner
THE QUADRANT CORPORATION, DECLARANT

Date: 4/10, 1992 By *Skip Holman*
Its V.P.

STATE OF WASHINGTON)
COUNTY OF KING) ss.

I CERTIFY that I know or have satisfactory evidence that *Skip Holman* is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the Acting Managing Partner of Quadrant-North Shore Associates to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.



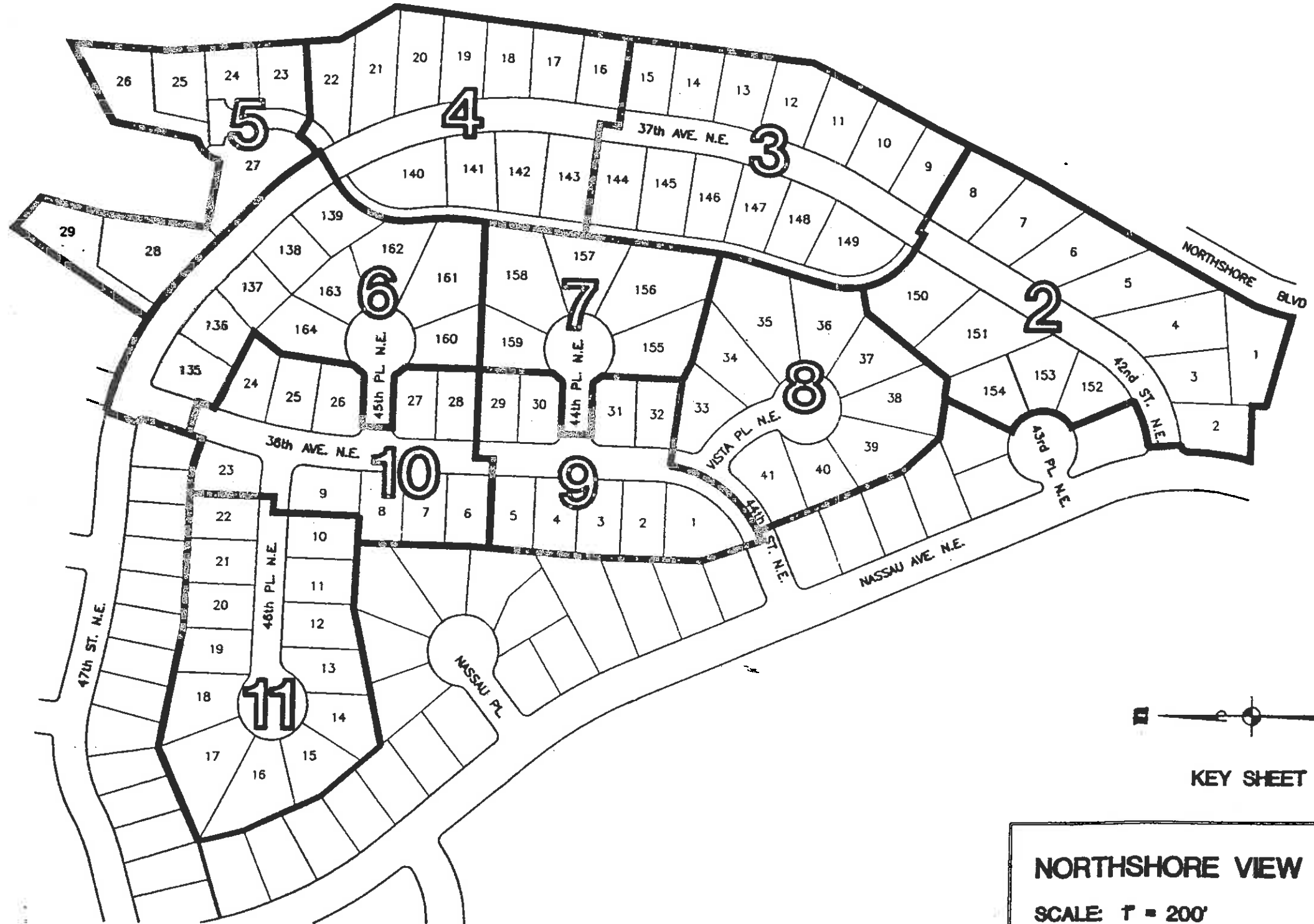
DATED: April 10, 1992
Susan Cox
Signature
Notary
Title
My Appointment Expires: 10-6-95

STATE OF WASHINGTON)
COUNTY OF KING) ss.

I CERTIFY that I know or have satisfactory evidence that *Skip Holman* is the person who appeared before me, and said person acknowledged that he signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the Vice President of THE QUADRANT CORPORATION to be the free and voluntary act of such party for the uses and purposes mentioned in this instrument.



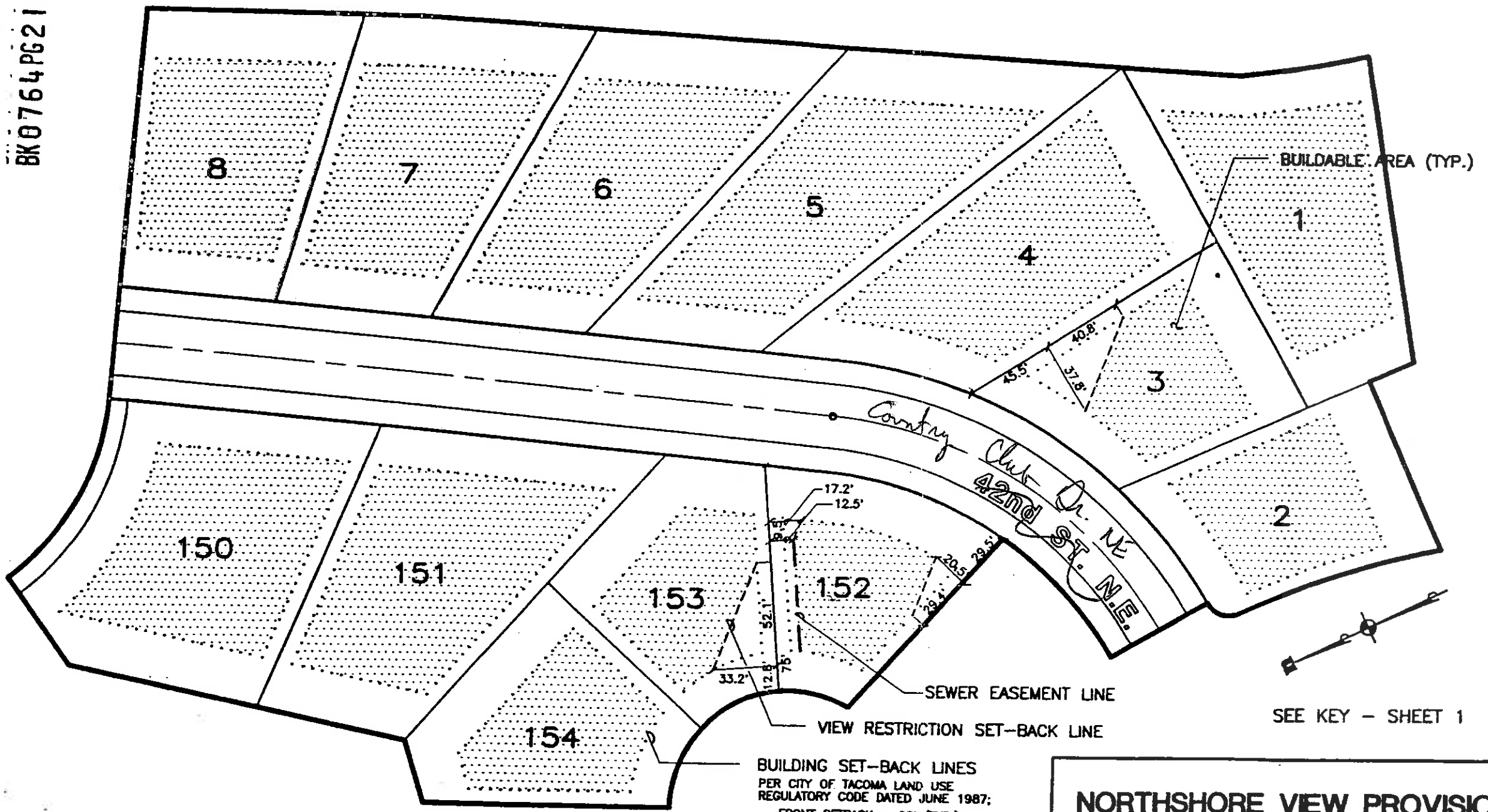
DATED: April 10, 1992
Susan Cox
Signature
Notary
Title
My Appointment Expires: 10-6-95



NORTHSHORE VIEW PROVISIONS

SCALE: 1" = 200'

SHEET 1 OF 11



BUILDABLE AREA (TYP.)

BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

NORTHSHORE VIEW PROVISIONS

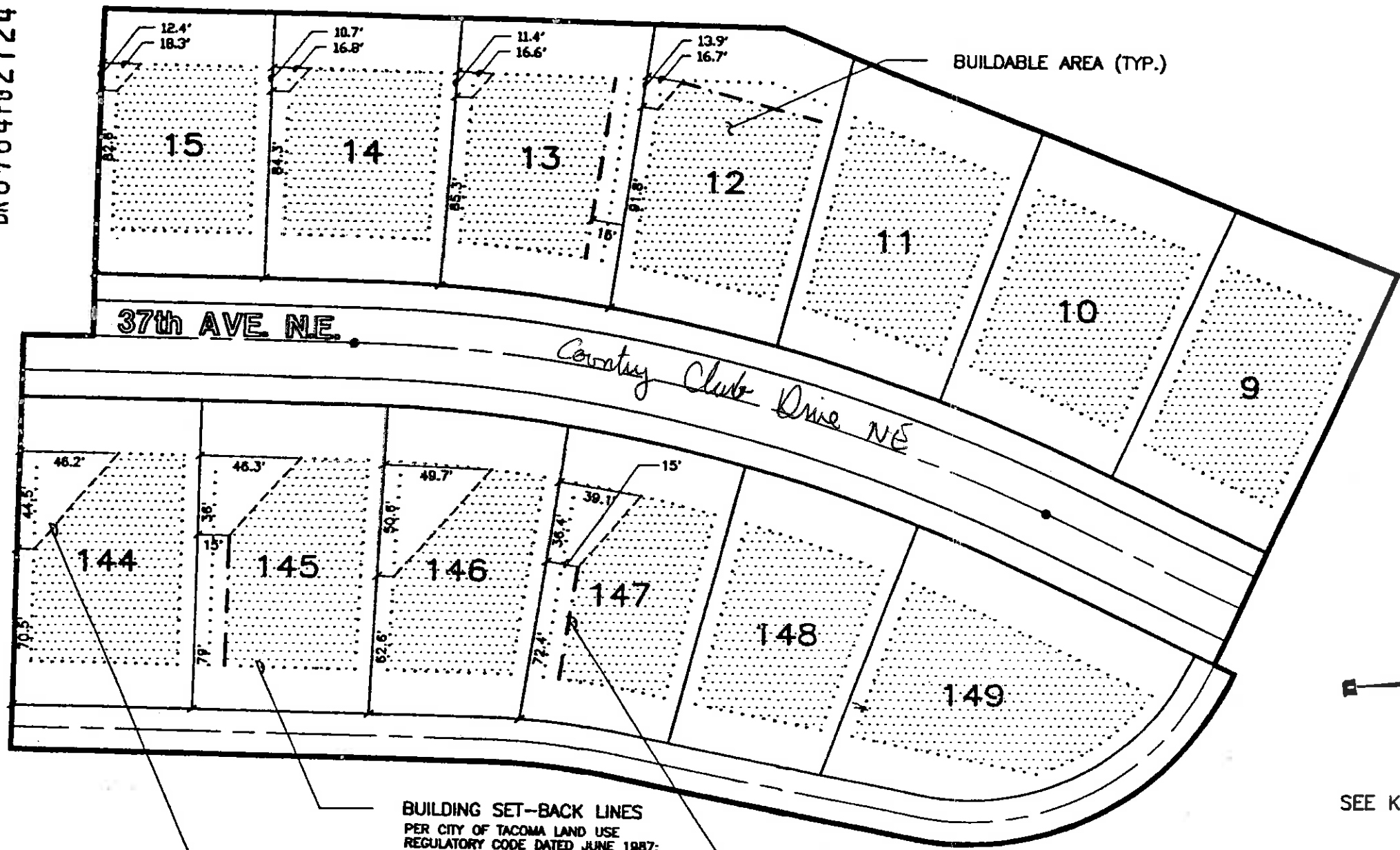
SCALE: 1" = 60'

SHEET 2 OF 11

SEE KEY - SHEET 1

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BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

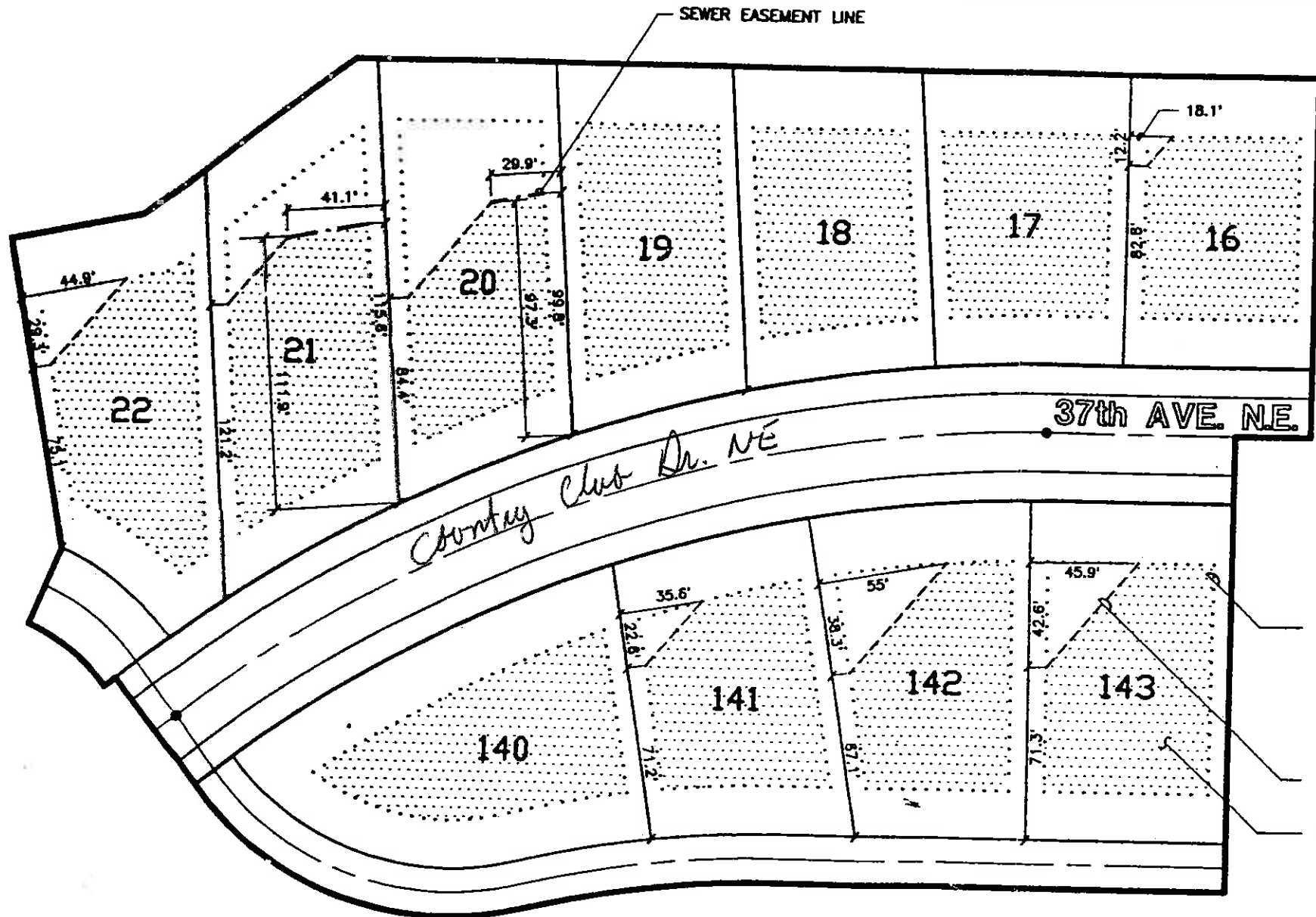
SEWER EASEMENT LINE

VIEW RESTRICTION SET-BACK LINE



SEE KEY - SHEET 1

NORTHSHORE VIEW PROVISIONS
 SCALE: 1" = 60'
 SHEET 3 OF 11

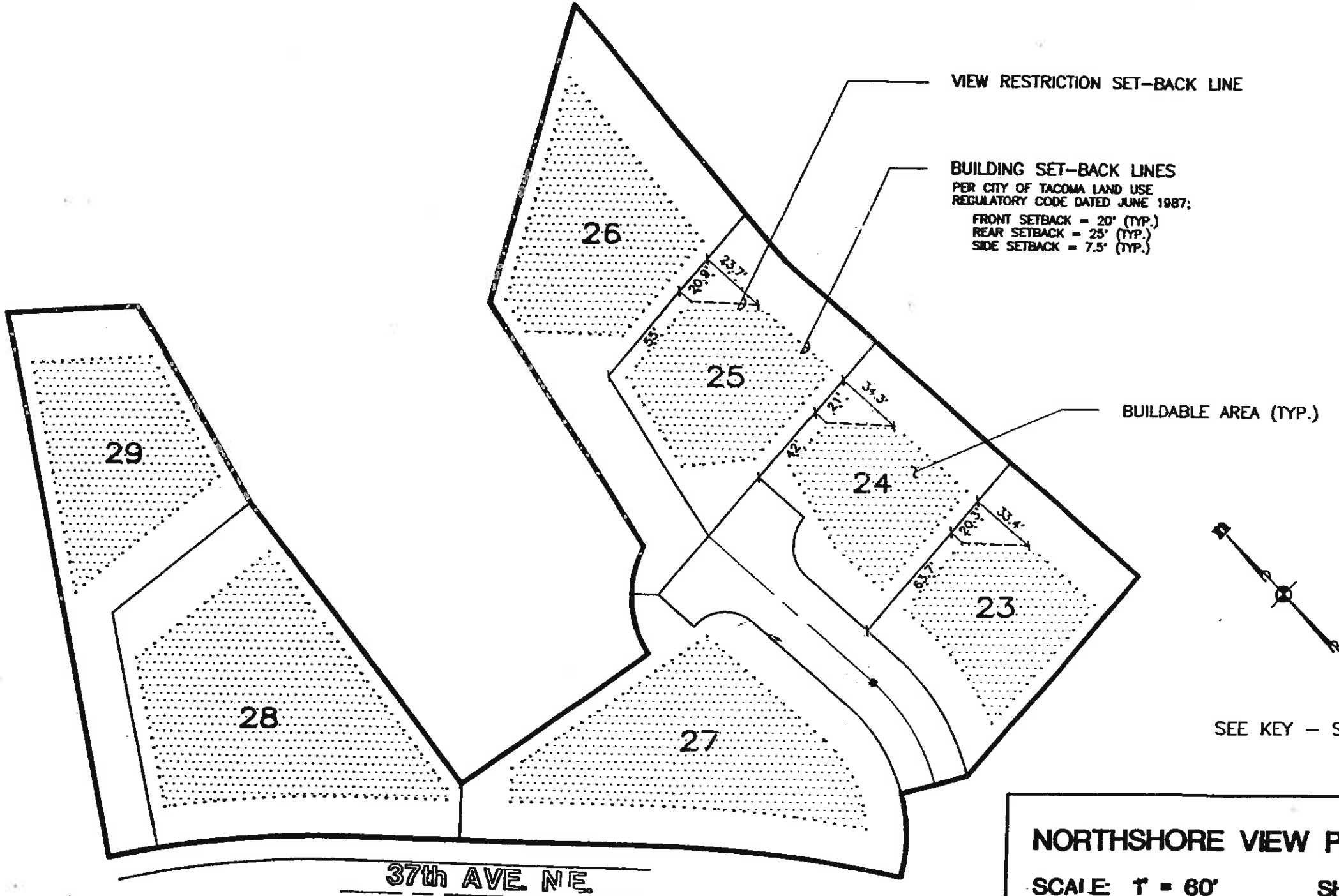


BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987;
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

VIEW RESTRICTION SET-BACK LINE
 BUILDABLE AREA (TYP.)

SEE KEY - SHEET 1

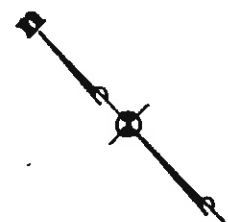
NORTHSHORE VIEW PROVISIONS
 SCALE: 1" = 60' SHEET 4 OF 11



VIEW RESTRICTION SET-BACK LINE

BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
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 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

BUILDABLE AREA (TYP.)



SEE KEY - SHEET 1

NORTHSHORE VIEW PROVISIONS

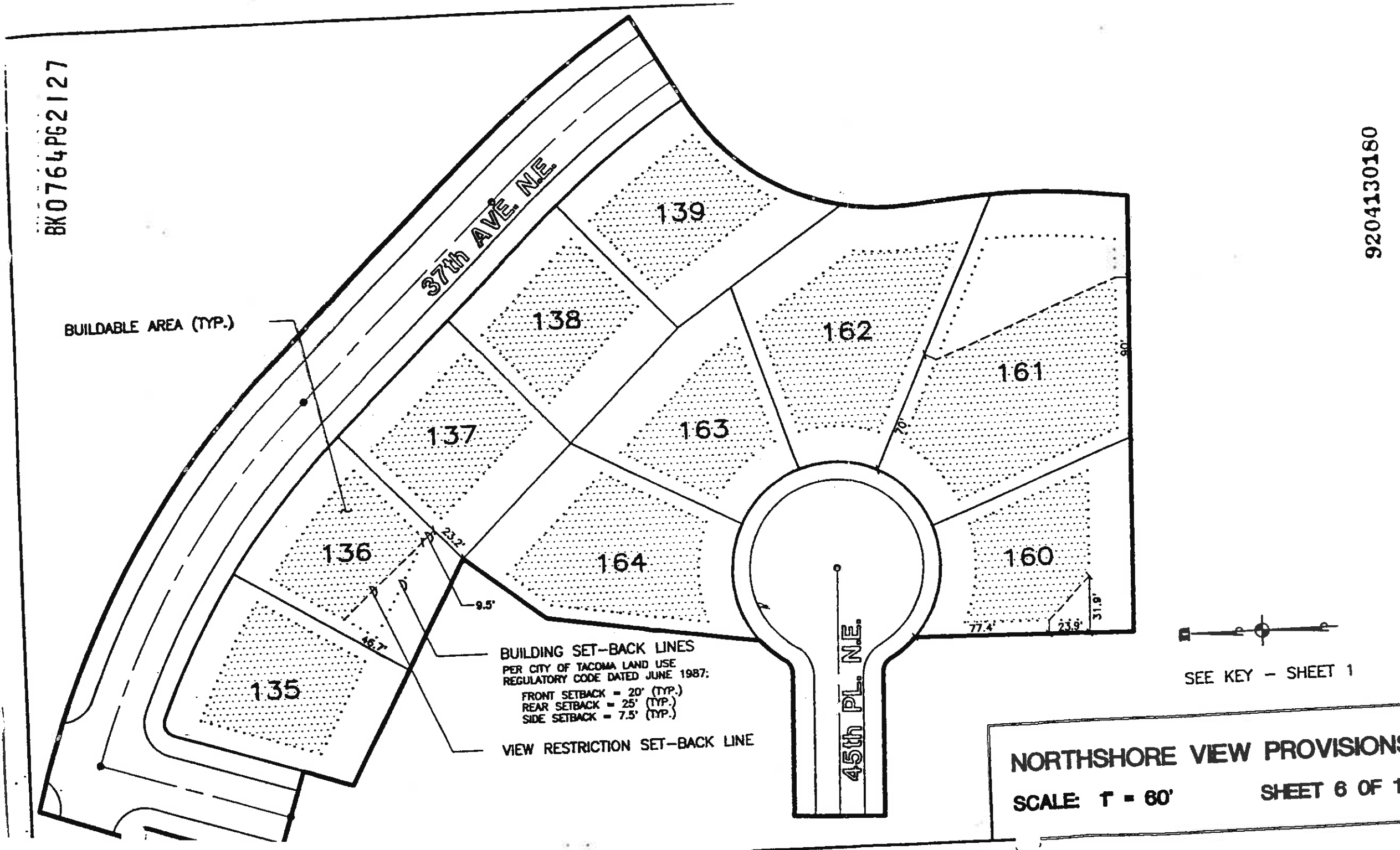
SCALE: 1" = 60'

SHEET 5 OF 11

37th AVE NE

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BUILDABLE AREA (TYP.)

37th AVE. N.E.

45th PL. N.E.

BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

VIEW RESTRICTION SET-BACK LINE



SEE KEY - SHEET 1

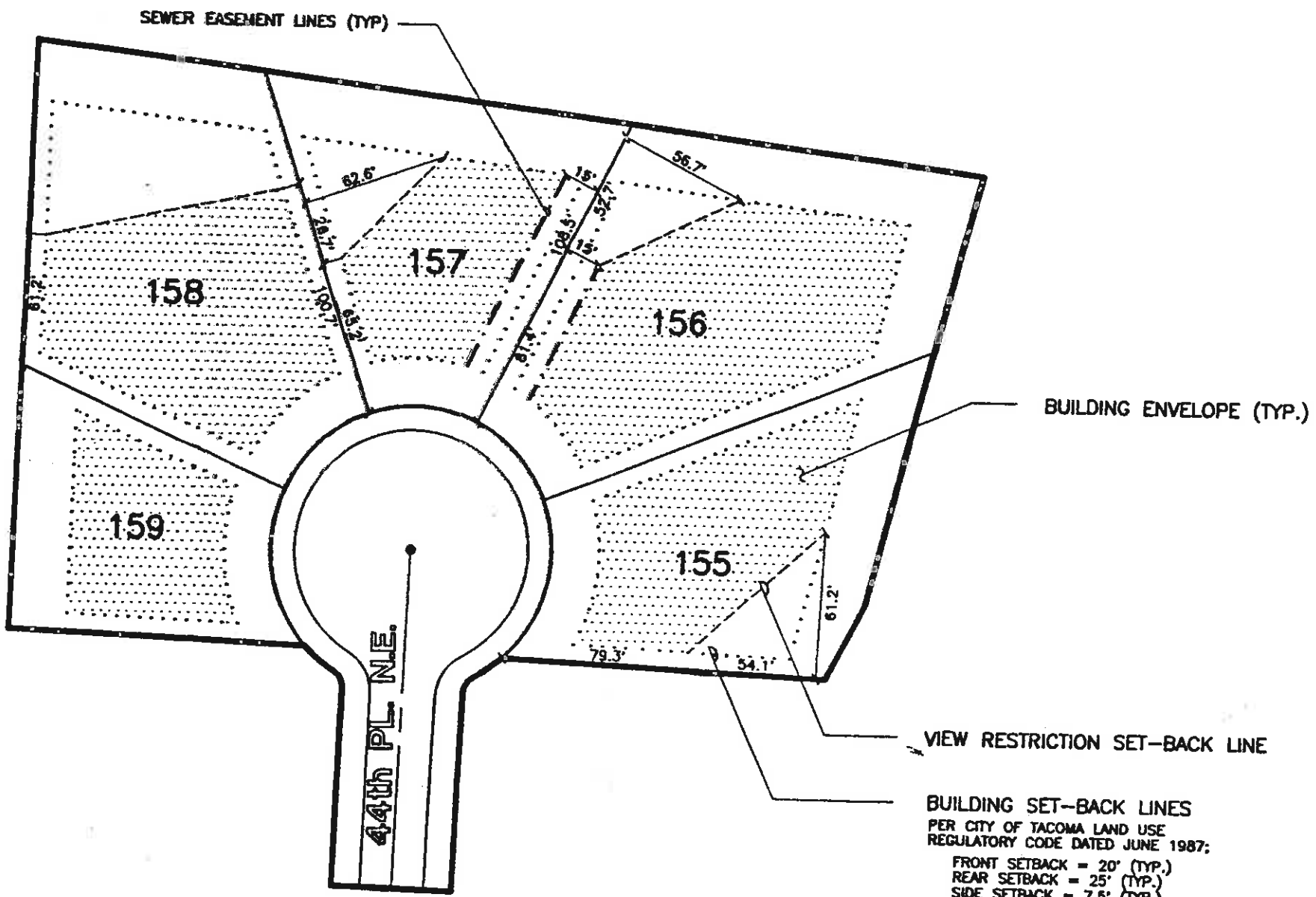
NORTHSHORE VIEW PROVISIONS

SCALE: 1" = 60'

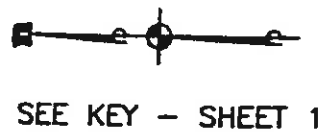
SHEET 6 OF 11

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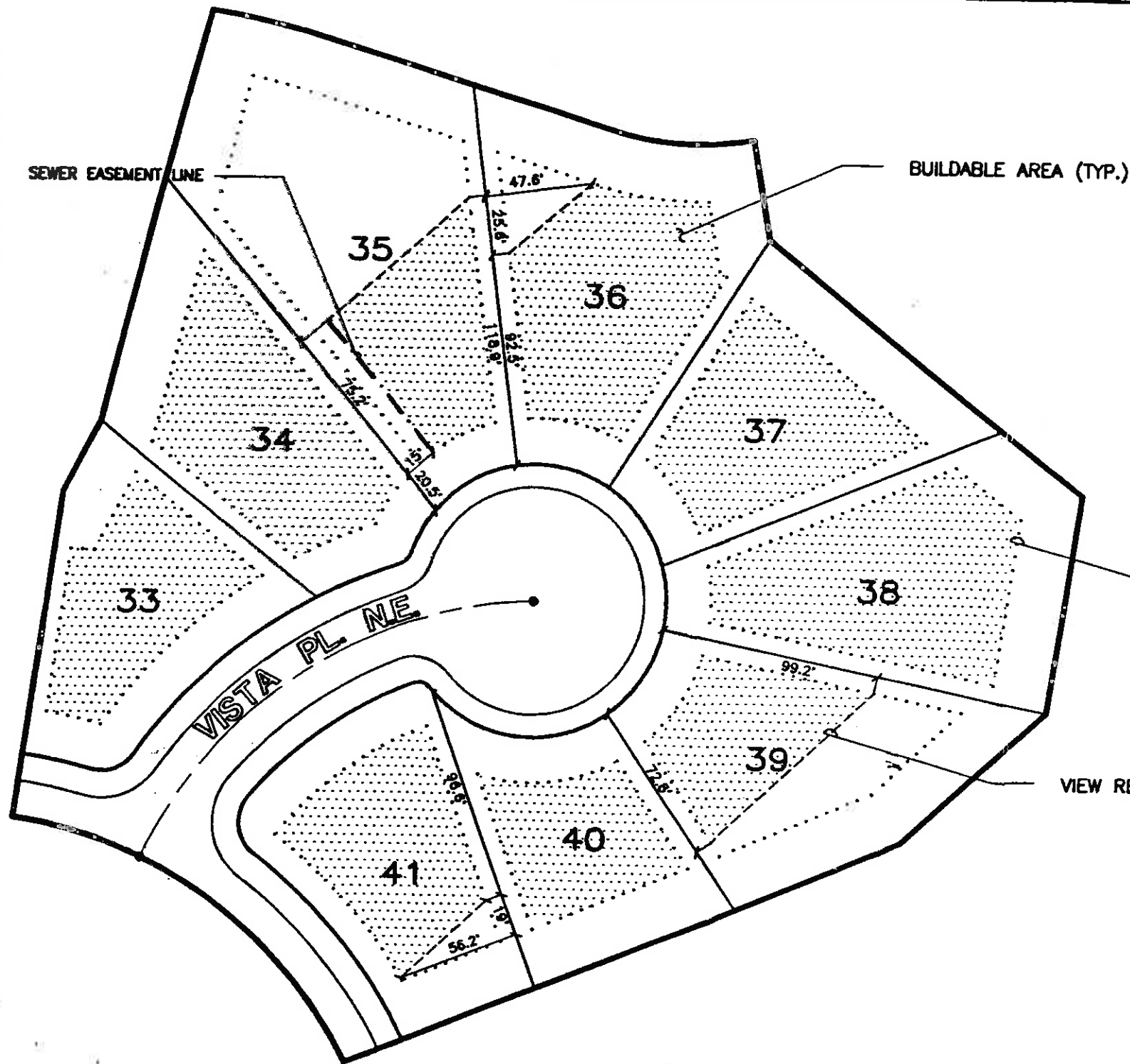
BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)



NORTHSHORE VIEW PROVISIONS

SCALE: 1" = 60'

SHEET 7 OF 11



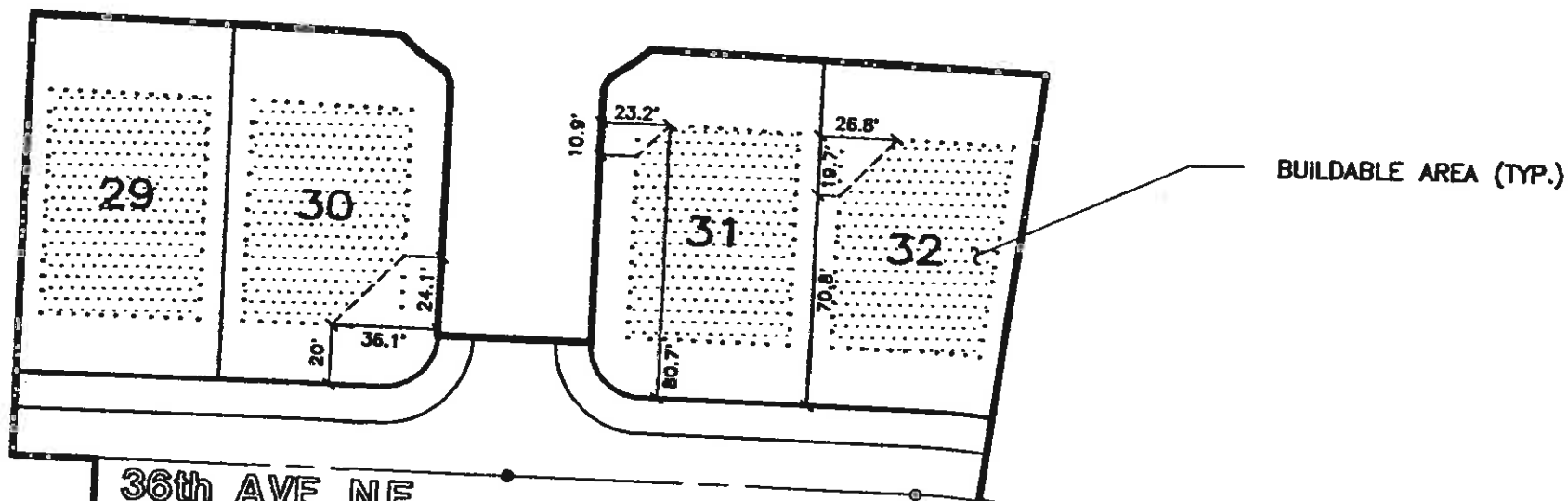
BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987;
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

VIEW RESTRICTION SET-BACK LINE

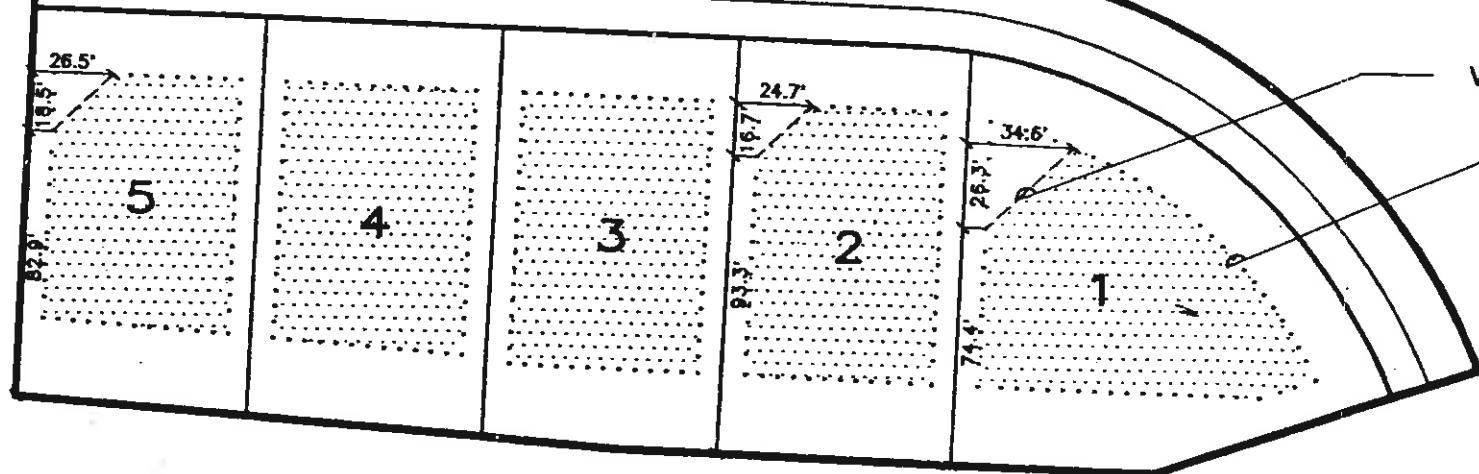


SEE KEY - SHEET 1

NORTHSHORE VIEW PROVISIONS
 SCALE: 1" = 60' SHEET 8 OF 11



36th AVE NE



VIEW RESTRICTION SET-BACK LINE

BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)



SEE KEY - SHEET 1

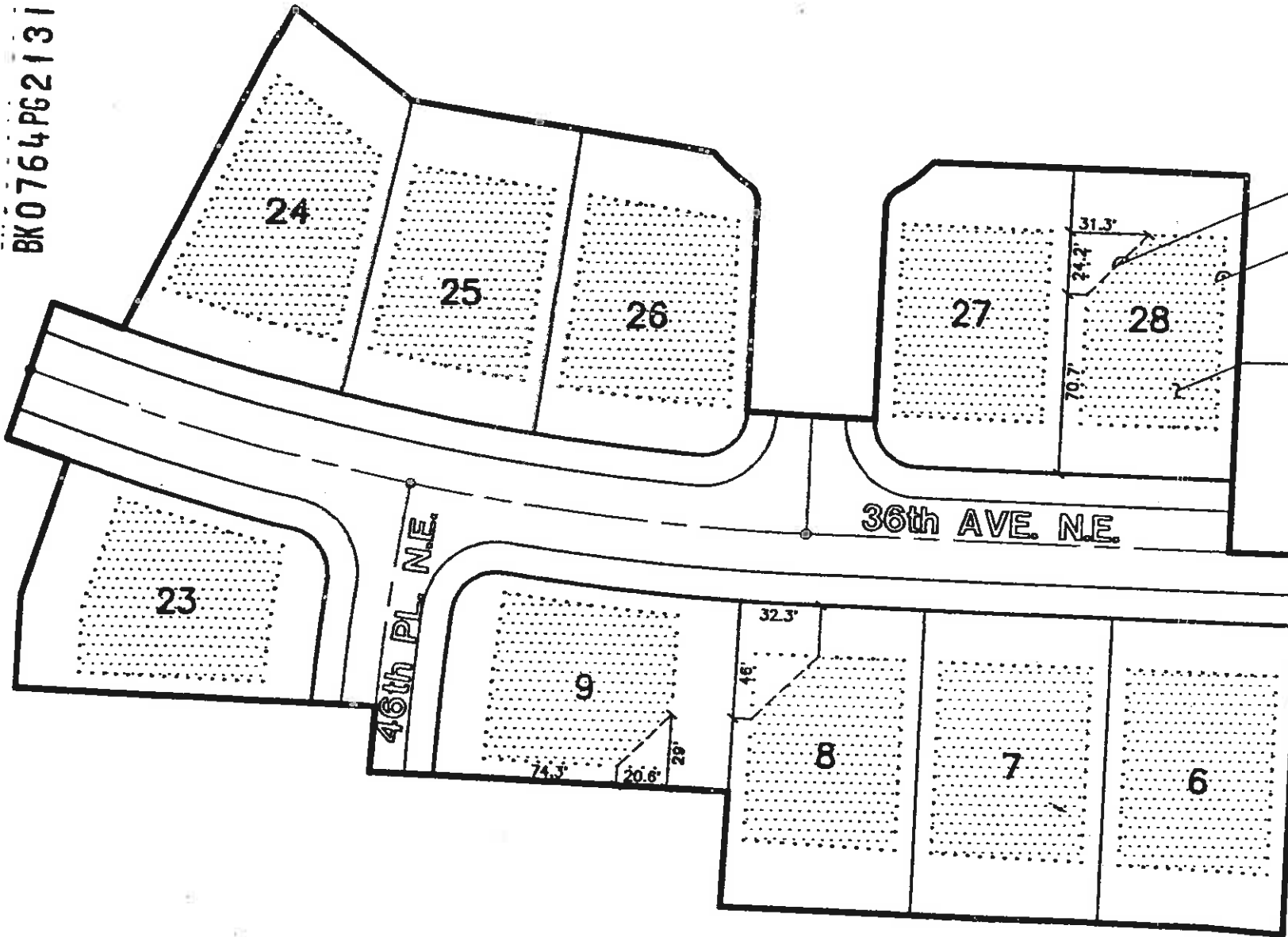
NORTHSHORE VIEW PROVISIONS

SCALE: 1" = 60'

SHEET 9 OF 11

BK 0764PG2131

9204130180



VIEW RESTRICTION SET-BACK LINE

BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987:
 FRONT SETBACK = 20' (TYP.)
 REAR SETBACK = 25' (TYP.)
 SIDE SETBACK = 7.5' (TYP.)

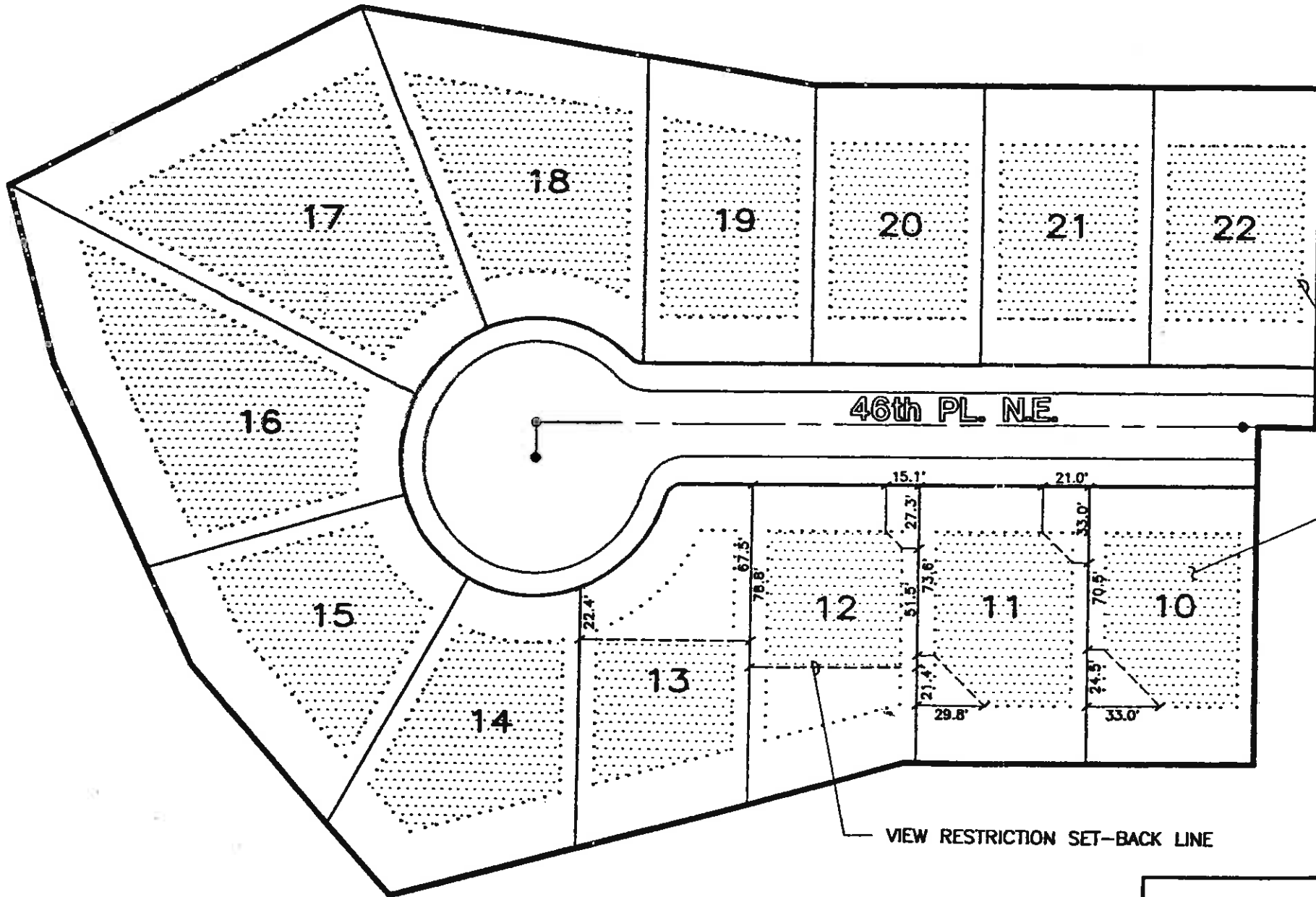
BUILDABLE AREA (TYP.)



SEE KEY - SHEET 1

NORTHSHORE VIEW PROVISIONS

SCALE: 1" = 60' SHEET 10 OF 11



BUILDING SET-BACK LINES
 PER CITY OF TACOMA LAND USE
 REGULATORY CODE DATED JUNE 1987;
 FRONT SETBACK = 20' (TYP.)
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 SIDE SETBACK = 7.5' (TYP.)

BUILDABLE AREA (TYP.)



VIEW RESTRICTION SET-BACK LINE

SEE KEY - SHEET 1

NORTHSHORE VIEW PROVISIONS
 SCALE: 1" = 60'
 SHEET 11 OF 11